

**Leeds City Council - Education Leeds**  
**ASSET MANAGEMENT PLAN**  
**PROPERTY CONDITION SURVEY**

***Establishment reference : 0001***

***UPRN : 0001***

***West Park Centre***

*Spen Lane, West Park, Leeds, LS16 5BE*  
*Telephone: 0113 2304074 Fax: not available*



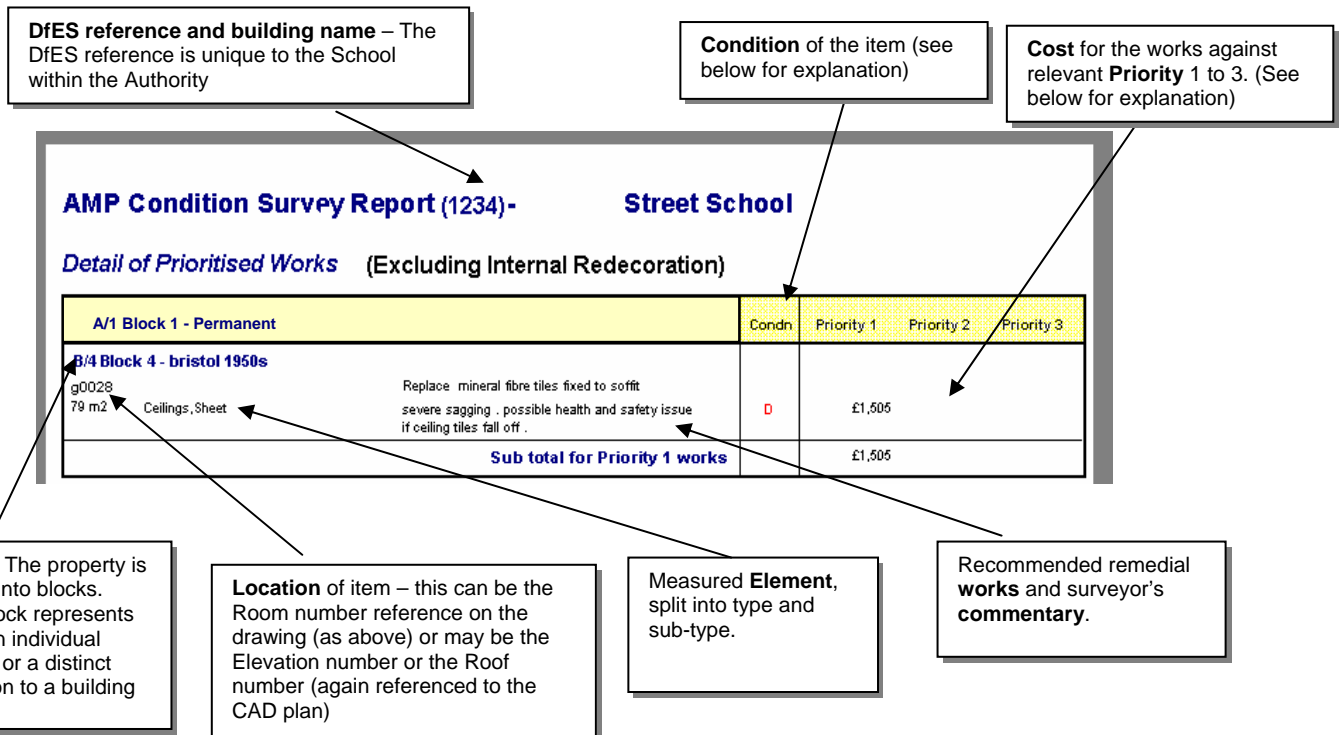
**Education Leeds** 

# Asset Management Planning Information

## Condition Report – Notes of Guidance

The Executive Summary Report for Condition is split into 5 sections:

- **Summary page** – Including general details, surveyor's summary comments and a breakdown of the blocks on site
- **Cost breakdown** – Displaying the breakdown of prioritised cost against the DfES element **for the whole site**.
- **Block cost breakdown** – Displaying the breakdown of prioritised cost against the DfES element **for each block on site**.
- **Detail of prioritised works**– Displaying cost and prioritisation for each item of work identified on the survey. This is not the full survey but represents a reduced version showing all priority items **excluding painting works**.
- **Summary of redecoration works**– Displaying cost and prioritisation for redecoration works summarised against element and block.



### PRIORITY GRADING GUIDANCE NOTES -Condition Gradings

Each element on the survey is allocated a condition grading as set out by the DfES as follows:

• <b>Grade A</b>	Good	Performing as intended and operating efficiently
• <b>Grade B</b>	Satisfactory	Performing as intended but exhibiting minor deterioration
• <b>Grade C</b>	Poor	Exhibiting major defects and/or not operating as intended
• <b>Grade D</b>	Bad	Life expired and/or serious risk of imminent failure

### Priority Gradings (in the context of five year planning period)

Each item is allocated a priority rating 1-3.

• <b>Priority 1</b>	Urgent	Work that will prevent closure of the premises and/or address immediate high risk to health and safety of the occupants and/or remedy a serious breach of legislation.
• <b>Priority 2</b>	Essential	Work required within 2 years that will prevent serious deterioration of the fabric or services and/or address a medium risk to the health and safety of the occupants and/or remedy a less serious breach of legislation
• <b>Priority 3</b>	Desirable	Work required within 3 to 5 years.

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## AMP Condition Survey Report 0001 - West Park Centre

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### 0001 - West Park Centre

Spenn Lane, West Park, Leeds, LS16 5BE

**Premise GFA (m2)** 7,195  
**Date of survey** 28/09/2009      **Construction year** 1951



### ***Executive Summary***

Block 01- A predominately two storey building constructed 1951 of brick external walls incorporating single glazed painted steel framed windows and timber doors under flat asphalt covered roofs. Areas of the external walls are clad with concrete panels and replacement PVC cladding has been installed to some elevations. A section of the building was damaged by fire in 2001 and that area was subsequently refurbished.  
Survey overall condition **B**

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### Building Summary:

#### Roofs:

The flat asphalt roof coverings are currently in satisfactory condition. However there are areas of ongoing patch repairs and evidence of minor water ingress internally therefore renewal of the roof coverings is envisaged being required within the next three to five years. Due to the extensive area of the flat roofs, the implementation of a rolling roof replacement programme is recommended to distribute the major expenditure of renewing the roof coverings.

#### Floors & Stairs:

The majority of the floor finishes within the building are in satisfactory condition and appear well maintained.

#### Ceilings:

The majority of the ceiling finishes are in satisfactory condition. Isolated areas of the plaster finished ceilings require repairs where water ingress from roof leaks have damaged the internal finishes.

#### External Walls, Windows & Doors:

A visual inspection of the external walls identified stepped fractures indicating structural movement in elevations 18 and 41. Prior to remedial works being implemented the fractures require further structural investigations to determine if the movement is progressive or historic. The cost of further structural investigations has not been included in the report. Elevation 10A also has stepped fractures in the stonework originating above the external door. The stepped fractures are attributed to deflection of the steel lintel above the door. The single glazed steel framed windows are approximately 58 years old and approaching the end of their design life. The steel frames are generally deteriorating and the single glazing provides poor thermal properties. Due to the age, condition and cost of redecoration works the windows are recommended for renewal / upgrading. The external doors are generally in satisfactory condition. However the steel framed external doors are recommended for renewal / upgrade during the window replacement.

#### Internal Walls, Windows & Doors:

The internal walls are generally in satisfactory condition. Isolated repairs are required where impact damage has occurred. The internal doors are generally in satisfactory condition.

#### Sanitary Services:

The majority of the sanitary accommodation is original and approximately 58 years old. The toilet areas are therefore recommended for a full refurbishment within the next three years to upgrade the aging facilities.

#### Redecorations:

The internal decorations are generally in satisfactory condition and appear well maintained.

#### Fixed furniture & Fittings:

The fixed furniture and fittings provided within the buildings are generally in satisfactory condition.

#### External Areas:

The tarmac surfaced car park, access roads and pathways are generally in satisfactory condition. Isolated areas of the tarmac footpaths are uneven and pose potential trip hazards that require immediate attention. The areas of soft landscaping are generally well maintained. The interior of the building is susceptible to flooding in Rooms G/102 - G/104 due to the drains backing up and over flowing. Camera surveys have identified collapsed sections of the pipework in this area and an upgrade of the existing drainage is therefore recommended.

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### MECHANICAL SURVEY REPORT

#### General comments

Inspection and Testing - Although gas servicing may have been carried out, records were not available to view at the time of survey. It is therefore recommended that all gas-services and appliances are checked and serviced to ensure they are safe to use. It is also recommended that tests are carried out to ensure that the Kitchen extraction system complies with gas safety regulations.

Legionella - A legionella risk assessment has been carried out and a maintenance procedure was in place with regular monthly checks, however monthly checks are no longer carried out. It is recommended that all water services are continually inspected to check compliance with ACOP L8.  
The drinks fountains in G/103 and G/067 should be removed.

Energy Efficiency - The present heating system installed throughout the building is not "energy-efficient" due to large-bore pipework and cast iron radiators with no thermostatic control. This would be remedied when replacement takes place.

Following asbestos removal, heating pipework and the calorifier in the boiler room are not insulated; it is recommended these are insulated ASAP to avoid excessive heat loss.

It is recommended that an energy-audit is carried out to identify any areas where additional energy-efficiency measures can be introduced.

#### Block 1 Main Building

General Installation - With the exception of the boiler house plant most of the installation is approximately 58 years old and in poor condition.

Space Heating - The heating system comprises 3 no gas-fired boilers, steel pipework and a mix of fan convectors, natural convectors, cast-iron and steel panel radiators. It is recommended that all original pipework and heat emitters be replaced within 1-2 years.

The 2no older boilers may need replacing within 2-3 years.

Control to the heating system is "energy-efficient" and is in satisfactory condition.

The pipework and calorifier are not insulated following asbestos removal.

The boiler has no fire-protection and the gas supply to the boiler has no automatic isolation, it is recommended that these be installed

Domestic Hot Water - Domestic hot water is provided by a gas-fired boiler and calorifier with copper distribution pipework. All visible services appear satisfactory.

It is recommended that the boiler and old copper pipework be replaced within 2-3 years

Cold Water System - There are no easily-accessible water storage tanks, therefore condition cannot be assessed.

Distribution is via copper pipework. All visible services appear satisfactory.

It is recommended that old copper pipework be replaced within 2-3 years and the drinks fountains in G/103 and G/067 be removed.

Extractor Fans - Extractor fans are installed in some toilet areas and are in a satisfactory condition. The extractor fans installed in the stage area are very old and should be replaced if still needed.

Kitchen Canopy - The kitchen has been de-commissioned and the canopy has been removed.

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### ELECTRICAL SURVEY REPORT

#### General comments

Electrical Testing - Although testing may have been carried out, records were not available to view at the time of survey. It is therefore recommended that a full electrical inspection and test to BS7671 is carried out throughout all blocks and any remedial work completed, to ensure the installations are safe to use (see note in "Wiring").

Lift Inspection - Although testing may have been carried out, records were not available to view at the time of survey. It is therefore recommended that Lifts are tested and inspected to BS 5655.

Health and Safety - It is recommended that LG3-compliant luminaires are installed adjacent all VDUs to comply with Health and Safety Legislation.

If ball sports take place in the hall it is recommended that vandal-resistant luminaires are installed to prevent damage and possible injury.

#### Block 1 Main Building

General Installation - The electrical installation is mostly original, approximately 58 years old and in poor condition and may constitute a fire risk.

Wiring - Wiring systems comprise PVC in conduit, PVC/PVC and possibly VIR with PVC/SWA and Paper-Lead sub-mains cables. The original wiring may comprise VIR which constitutes a fire risk. It is recommended that the wiring be replaced within the year and if not the installation must be tested to verify its safety.

Luminaires - Luminaires are fluorescent and tungsten throughout the building. Many luminaires have exceeded their expected life and it is anticipated that these will fail in the very near future. It is recommended that they be replaced.

Main Switchgear - The main incoming switchgear and distribution panel, located in room B/251 is original and in poor condition. The cable trench below the main switch is full of water, this should be fitted with a submersible pump and the trench kept dry.

Sub-Distribution Boards - Sub-distribution boards have MCB protection and are in a satisfactory condition. The original ones have rewirable carriers and are in poor condition. It is recommended that they be replaced when the installation is rewired.

Fire Alarm System - A mains-only manual fire alarm system, wired in fire-resistant MI cable, is installed. It is in poor condition and does not comply with British Standards; it is recommended that this be replaced with a system complying with BS 5839.

Emergency Lighting System - A very old central battery emergency lighting system, wired in fire-resistant MI cable, is installed throughout the building. It is in poor condition and does not comply with British Standards; it is recommended that this be replaced with a system complying with BS 5266.

Security System - A security system is installed that comprises CCTV cameras and a PIR system throughout the building, the system is in a satisfactory condition.

ICT Network Cabling - Cat 5 ICT cabling has been installed in classroom and office areas and is in satisfactory condition.

Lightning Protection - A copper lightning conductor is installed to the boiler flue stack and appears to be in a satisfactory condition although it is recommended that this be tested in accordance with British Standards. It is also recommended that a risk assessment is carried out to the rest of the building and a system installed if necessary.

Stage Lighting - Portable stage lighting is installed to the balcony G/127 and is in satisfactory condition.

Lift - A hydraulic chair lift is installed and is in satisfactory condition. It is not known when the lift was last inspected.

Electric Space Heating - Space heating in the first floor halls is provided by quartz electric heaters and these are in a satisfactory condition.

Energy Efficiency - First floor halls are presently lit by 300 Watt tungsten lamps, these should be replaced with

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fluorescent luminaires to give a significant reduction in energy use.

### ***Building and Block Area Details***

The chart below displays the breakdown of blocks making up the site. Each block reference is used to group room data and condition information. The referencing is split into 2 parts eg 01/02, where the first part (01) is the building reference and the second part (02) is the block reference within the building.

Block Reference/ Name	Construction Type	GFA (m2)	Construction Year
01/01 Block 1 Main Building	Permanent	7,195	1951
02/02 Grounds Hardstandings	External Areas	10,000	1951

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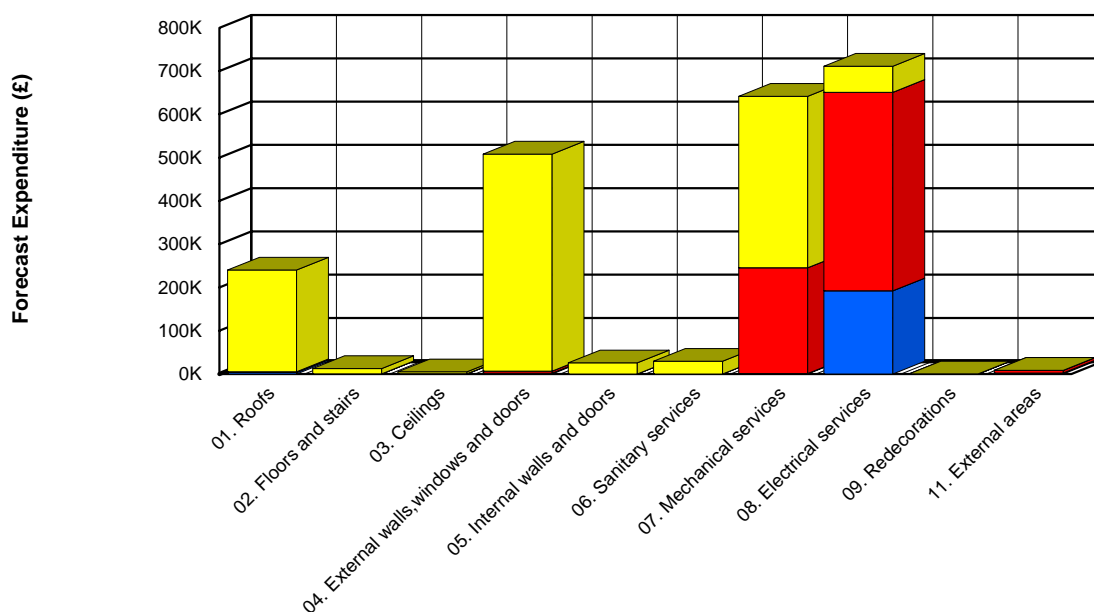
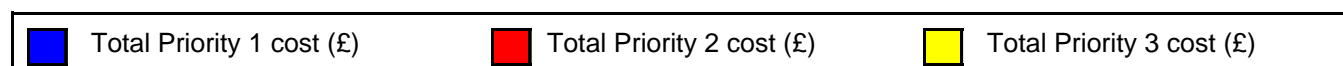
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### Cost Summary by Element

The chart below displays the total forecast expenditure need for the **whole** property based on the condition survey. Each cost is summarised against the standard element description as defined by the DFES. The costs are subtotalled by priority 1,2 and 3 to indicate the urgency of the work required (where 1 is the most urgent).

Element	Priority 1	Priority 2	Priority 3	Total
01. Roofs	£3,778	£1,356	£235,052	<b>£240,186</b>
02. Floors and stairs	£363		£12,311	<b>£12,674</b>
03. Ceilings		£529	£4,487	<b>£5,016</b>
04. External walls, windows and doors	£1,770	£4,871	£501,534	<b>£508,175</b>
05. Internal walls and doors		£81	£25,677	<b>£25,757</b>
06. Sanitary services			£29,423	<b>£29,423</b>
07. Mechanical services	£1,033	£244,386	£396,269	<b>£641,688</b>
08. Electrical services	£192,108	£458,802	£60,219	<b>£711,129</b>
09. Redecorations			£218	<b>£218</b>
11. External areas	£2,181	£6,430		<b>£8,610</b>
<b>Grand total</b>	<b>£201,233</b>	<b>£716,453</b>	<b>£1,265,191</b>	<b>£2,182,876</b>

### Cost Summary Chart





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### Summary of Total Cost by Block

The chart below displays the total forecast expenditure for **each block** within the property. Each cost is summarised against the standard element description as defined by the DFES. The costs are subtotalled by priority 1,2 and 3 to indicate the urgency of the work required.

<b>01/01 Block 1 Main Building - Permanent, 7,195m2</b>	<b>Priority 1</b>	<b>Priority 2</b>	<b>Priority 3</b>	<b>Total</b>
01. Roofs	£3,778	£1,356	£235,052	£240,186
02. Floors and stairs	£363		£12,311	£12,674
03. Ceilings		£529	£4,487	£5,016
04. External walls, windows and doors	£1,770	£4,871	£501,534	£508,175
05. Internal walls and doors		£81	£25,677	£25,757
06. Sanitary services			£29,423	£29,423
07. Mechanical services	£1,033	£244,386	£396,269	£641,688
08. Electrical services	£192,108	£458,802	£59,884	£710,794
09. Redecorations			£218	£218
<b>Sub total for 01/01 Block 1 Main Building - Permanent, 7,195m2</b>	<b>£199,052</b>	<b>£710,023</b>	<b>£1,264,856</b>	<b>£2,173,931</b>

<b>02/02 Grounds Hardstandings - External Areas, 10,000m2</b>	<b>Priority 1</b>	<b>Priority 2</b>	<b>Priority 3</b>	<b>Total</b>
08. Electrical services			£335	£335
11. External areas	£2,181	£6,430		£8,610
<b>Sub total for 02/02 Grounds Hardstandings - External Areas, 10,000m2</b>	<b>£2,181</b>	<b>£6,430</b>	<b>£335</b>	<b>£8,945</b>

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### Detail of Prioritised Works (Excluding Redecorations)

The chart below displays the breakdown of forecast cost against each item. The report is group by location/room name within each block. The condition grade against each item is defined as **A-Good**, **B-Satisfactory**, **C-Poor** and **D-Bad/Urgent**. Painting costs are excluded and are available in summary within the final section of this report.

Priority 1 / Urgent works required	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>B/250-254-Circulation</b>				
<b>8. Electrical services</b>				
232 m2 Misc Power & Socket Wiring,General	Refer to summary report	C	£2,017	
232 m2 Luminaires Wiring,VIR,Flush/Surface	Refer to summary report	C	£4,236	
<b>B/251-Plant</b>				
<b>8. Electrical services</b>				
1 nr Sub Main Cables,PVC/Conduit,Per board	Refer to summary report	C	£797	
1 nr Main Switch & Distr. Panel,Cubicle,3 ph	Refer to summary report	C	£2,738	
1 nr Sub Distribution Boards,HRC,3 ph large building	Refer to summary report	C	£3,651	
<b>B/252-Caretaker Store</b>				
<b>8. Electrical services</b>				
1 nr Sub Main Cables,PVC/Conduit,Per board	Refer to summary report	C	£797	
1 nr Sub Distribution Boards,Rewirable,3 ph large building	Refer to summary report	C	£3,651	
<b>B/253-Boilerhouse</b>				
<b>7. Mechanical services</b>				
1 nr Pumps,Sec HWS	Not working	C	£274	
<b>Elevation 10A</b>				
<b>4. External walls, windows and doors</b>				
4 m2 Walls (external),Stone	stepped fracture / lintel deflection	D	£1,515	
2 ml Windows,Concrete,Lintel	lintel deflection / stepped fracture over door	D	£256	
<b>Elevation 32</b>				
<b>1. Roofs</b>				
0 m2 Soffit,Sheet,Wood	sections of soffit not secure / hanging loose	B	£316	
<b>Elevation 36</b>				
<b>2. Floors and stairs</b>				
1 nr Steps,Repair,Concrete Steps	impact damage to step on escape stairs	D	£39	
<b>G/054-101/207-249-Circulation</b>				
<b>8. Electrical services</b>				
2,350 Misc Power & Socket Wiring,General	Refer to summary report	C	£20,430	
2,350 Luminaires Wiring,VIR,Flush/Surface	Refer to summary report	C	£42,903	
<b>G/063-Circulation</b>				
<b>8. Electrical services</b>				
2 nr Sub Distribution Boards,Rewirable,1 ph large building	Refer to summary report	C	£5,477	
<b>G/067-Pupil Toilets</b>				
<b>7. Mechanical services</b>				
1 m2 Maintenance,Mechanical,maintenanc e large building	Remove water fountain	C	£380	
<b>G/077-Teaching Storage</b>				
<b>8. Electrical services</b>				
2 m2 Sub Main Cables,Paper Lead	Refer to summary report	C	£73	
2 nr Sub Distribution Boards,Rewirable,3 ph large building	Refer to summary report	C	£7,303	
<b>G/083-Office</b>				
<b>2. Floors and stairs</b>				

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### Detail of Prioritised Works (Excluding Redecorations)

The chart below displays the breakdown of forecast cost against each item. The report is group by location/room name within each block. The condition grade against each item is defined as **A-Good**, **B-Satisfactory**, **C-Poor** and **D-Bad/Urgent**. Painting costs are excluded and are available in summary within the final section of this report.

Priority 1 / Urgent works required	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>G/083-Office</b>				
<b>2. Floors and stairs</b>				
4 m2 Floors (finishes),Repair,Wood block potential trip hazard / loose blocks	D	£324		
<b>G/103-Pupil Toilets</b>				
<b>7. Mechanical services</b>				
1 m2 Maintenance,Mechanical,maintenanc Remove water fountain e large building	C	£380		
<b>G/115-Staff Workroom</b>				
<b>8. Electrical services</b>				
1 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£37		
<b>G/122-Staff Workroom</b>				
<b>8. Electrical services</b>				
1 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£37		
<b>G/128-Teaching Storage</b>				
<b>8. Electrical services</b>				
1 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£37		
<b>G/134-170/184-205-Office</b>				
<b>8. Electrical services</b>				
1,570 Misc Power & Socket Wiring,General Refer to summary report	C	£13,649		
1,570 Luminaires Wiring,VIR,Flush/Surface Refer to summary report	C	£28,663		
<b>G/158-Office</b>				
<b>8. Electrical services</b>				
2 nr Sub Distribution Boards,Rewirable,3 ph large building Refer to summary report	C	£7,303		
1 nr Sub Distribution Boards,Rewirable,1 ph large building Refer to summary report	C	£2,738		
2 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£73		
1 nr Sub Main Cables,PVC/Conduit,Per board Refer to summary report	C	£797		
<b>G/169-Circulation</b>				
<b>8. Electrical services</b>				
1 nr Sub Distribution Boards,Rewirable,3 ph large building Refer to summary report	C	£3,651		
1 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£37		
<b>G/202-Teaching Storage</b>				
<b>8. Electrical services</b>				
1 nr Sub Main Cables,PVC/Conduit,Per board Refer to summary report	C	£797		
2 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£73		
3 nr Sub Distribution Boards,Rewirable,1 ph large building Refer to summary report	C	£8,215		
<b>G/222-Caretaker Store</b>				
<b>8. Electrical services</b>				
3 nr Sub Distribution Boards,Rewirable,1 ph large building Refer to summary report	C	£8,215		
1 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£37		
2 nr Sub Main Cables,PVC/Conduit,Per board Refer to summary report	C	£1,594		
<b>G/228-Caretaker Store</b>				
<b>8. Electrical services</b>				

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### Detail of Prioritised Works (Excluding Redecorations)

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Priority 1 / Urgent works required	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>G/228-Caretaker Store</b>				
<b>8. Electrical services</b>				
1 m2 maintenance,electrical,maintenance Remove redundant battery cells large building	C	£190		
1 nr Sub Main Cables,PVC/Conduit,Per board Refer to summary report	C	£797		
1 nr Sub Distribution Boards,Rewirable,3 ph large building Refer to summary report	C	£3,651		
1 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£37		
<b>M/001-4 +1/005-12-Balcony</b>				
<b>8. Electrical services</b>				
646 m2 Misc Power & Socket Wiring,General Refer to summary report	C	£5,616		
646 m2 Luminaires Wiring,VIR,Flush/Surface Refer to summary report	C	£11,794		
<b>Roof 01</b>				
<b>1. Roofs</b>				
10 m2 Soffit,Concrete spalled concrete	D	£2,283		
<b>Roof 04A</b>				
<b>1. Roofs</b>				
20 m2 Roofs,Profile Sheet,Steel holes in roof deck & missing sections of felt covering	D	£1,179		
<b>02/02 Grounds Hardstandings - External Areas</b>				
<b>Elevation 36</b>				
<b>11. External areas</b>				
10 m2 Hardstandings/Pavements,Tarmac potential trip hazard / tree roots	D	£514		
<b>Elevation 46</b>				
<b>11. External areas</b>				
2 Nr Drainage,Drainage,General drains backing up -see executive summary	D	£1,666		
<b>Sub total for Priority 1 / Urgent works required</b>		£201,233		

### Detail of Prioritised Works (Excluding Redecorations)

The chart below displays the breakdown of forecast cost against each item. The report is group by location/room name within each block. The condition grade against each item is defined as **A-Good**, **B-Satisfactory**, **C-Poor** and **D-Bad/Urgent**. Painting costs are excluded and are available in summary within the final section of this report.

Priority 2 / Works required within 2 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>1/005/12/14/27-Circulation</b>				
<b>8. Electrical services</b>				
128 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£5,842	
<b>1/007/9-Hall</b>				
<b>8. Electrical services</b>				
542 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£24,738	
<b>1/018/41/44/50/52-Circulation</b>				
<b>7. Mechanical services</b>				
227 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£3,985	
<b>1/040-Circulation</b>				

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### Detail of Prioritised Works (Excluding Redecorations)

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Priority 2 / Works required within 2 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>1/040-Circulation</b>				
<b>7. Mechanical services</b>				
39 m2 Heat Emitters,Nat convector,general Refer to summary report	C		£890	
<b>All</b>				
<b>7. Mechanical services</b>				
7,256 Distribution Pipework,Heating,Steel large building Refer to summary report	C		£198,836	
<b>8. Electrical services</b>				
7,256 Fire Alarm Access'ies & Ctrl,Mains Only,Stand alone Refer to summary report	C		£88,313	
7,256 Emergency Wiring,Fire Resistant,MICC Rewire when replacing system	C		£79,482	
7,256 Emergency Luminaires/Control,Dedicated,Central Battery Refer to summary report	C		£99,289	
7,256 Fire Alarm Wiring,Fire Resistant,MICC Renew when replacing system	C		£66,235	
<b>B/251/254-Plant</b>				
<b>8. Electrical services</b>				
80 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£3,651	
<b>B/253-Boilerhouse</b>				
<b>7. Mechanical services</b>				
1 m2 Maintenance,Mechanical,maintenanc e large building Insulate all pipework/calorifier	D		£3,795	
1 nr Pumps,Primary HWS,large building Approaching end of life	B		£1,229	
<b>Elevation 17</b>				
<b>4. External walls,windows and doors</b>				
2 m2 Doors (external),Wood plywood facing panel delaminating from door	C		£481	
<b>8. Electrical services</b>				
1 nr Luminaires,Tungsten,Surface Damaged	C		£362	
<b>Elevation 18</b>				
<b>4. External walls,windows and doors</b>				
0 m2 Walls (external),Brick,Fair faced stepped fracture- see executive summary	B		£316	
<b>Elevation 24</b>				
<b>4. External walls,windows and doors</b>				
10 m2 Walls (external),Clad,UPVC impact damage	C		£701	
<b>Elevation 36</b>				
<b>4. External walls,windows and doors</b>				
2 m2 Doors (external),Wood plywood facing panel delaminating from door	C		£481	
<b>8. Electrical services</b>				
1 nr Luminaires,Tungsten,Surface Damaged	C		£362	
<b>Elevation 37</b>				
<b>1. Roofs</b>				
28 Lin Fascia,Fascia,Softwood timber decay	C		£491	
28 m2 Soffit,Sheet,Wood sections of soffit not secure / hanging loose	C		£865	
<b>4. External walls,windows and doors</b>				
6 m2 Walls (external),Clad,UPVC impact damage	C		£420	
<b>Elevation 41</b>				
<b>4. External walls,windows and doors</b>				
32 m2 Walls (external),Clad,UPVC impact damage	C		£2,156	

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## AMP Condition Survey Report 0001 - West Park Centre

### Detail of Prioritised Works (Excluding Redecorations)

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Priority 2 / Works required within 2 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b> <b>Elevation 41</b> <b>4. External walls,windows and doors</b> 0 m2 Walls (external),Brick,Fair faced stepped fracture- see executive summary	B		£316	
<b>Elevation 42</b> <b>8. Electrical services</b> 1 nr Luminaires,Tungsten,Surface Damaged	C		£362	
<b>Elevation 46</b> <b>8. Electrical services</b> 7 nr Luminaires,Fluorescent,Surface Approaching end of life	B		£2,438	
<b>Elevation 5</b> <b>8. Electrical services</b> 1 nr Luminaires,Tungsten,Surface Damaged	C		£362	
<b>G/057/58/70/77/78-Teaching Storage</b> <b>8. Electrical services</b> 70 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£3,195	
<b>G/057/60-69/100/102-Teaching Storage</b> <b>7. Mechanical services</b> 420 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£7,373	
<b>G/059-Staff Showers</b> <b>7. Mechanical services</b> 1 nr HWS Mixing Valves,General Approaching end of life	B		£125	
<b>8. Electrical services</b> 8 m2 Luminaires,Fluorescent,Surface Refer to summary report	B		£351	
<b>G/072-76/83/85-90-Circulation</b> <b>8. Electrical services</b> 439 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£20,037	
<b>G/107/109/123/127-Registration Classbase</b> <b>8. Electrical services</b> 202 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£9,220	
<b>G/115-Staff Workroom</b> <b>3. Ceilings</b> 1 m2 Ceilings,Sheet,Mineral Fibre damaged section	C		£51	
<b>G/119/132-134/144-Circulation</b> <b>7. Mechanical services</b> 243 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£4,266	
<b>G/129/138/145/147-Teaching Storage</b> <b>8. Electrical services</b> 220 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£10,041	
<b>G/148/157/164/185-Teaching Storage</b> <b>8. Electrical services</b> 214 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£9,767	
<b>G/149/151/152/155-Circulation</b> <b>7. Mechanical services</b> 117 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£2,054	

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## AMP Condition Survey Report 0001 - West Park Centre

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Priority 2 / Works required within 2 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b> <b>G/156/160/161/188-Registration Classbase</b> <b>8. Electrical services</b> 189 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£8,626	
<b>G/159-Teaching Storage</b> <b>3. Ceilings</b> 3 m2 Ceilings,Repair,Plasterboard ceiling water ingress damage	C		£113	
<b>5. Internal walls and doors</b> 2 m2 Walls (internal),Repair,Plaster impact damage	C		£81	
<b>G/165/166/168/169-Circulation</b> <b>7. Mechanical services</b> 28 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£492	
<b>G/185-Kitchen</b> <b>7. Mechanical services</b> 193 m2 Heat Emitters,Fan convector,general Refer to summary report	C		£4,404	
<b>G/186/189/191-Store</b> <b>8. Electrical services</b> 33 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£1,506	
<b>G/192/200/204/214-Store</b> <b>8. Electrical services</b> 153 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£6,983	
<b>G/193-195/205/208-Staff toilet</b> <b>8. Electrical services</b> 111 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£5,066	
<b>G/196-199/201/206-Access Toilet</b> <b>7. Mechanical services</b> 294 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£5,161	
<b>G/207/208/212-Stage Area</b> <b>7. Mechanical services</b> 200 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£3,511	
<b>G/208-Stage Area</b> <b>7. Mechanical services</b> 2 nr Extractor Fans,General,Large unit Refer to summary report	C		£1,565	
<b>G/210-212/215/227-Caretaker Store</b> <b>8. Electrical services</b> 35 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£1,597	
<b>G/214-Teaching Storage</b> <b>3. Ceilings</b> 3 m2 Ceilings,Repair,Plasterboard ceiling water ingress damage	C		£113	
<b>G/214/219-222-Teaching Storage</b> <b>7. Mechanical services</b> 56 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£983	
<b>G/215-Office</b> <b>3. Ceilings</b> 3 m2 Ceilings,Repair,Plasterboard ceiling water ingress damage	C		£113	

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## AMP Condition Survey Report 0001 - West Park Centre

### Detail of Prioritised Works (Excluding Redecorations)

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Priority 2 / Works required within 2 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b> <b>G/218/219/222-Teaching Storage</b> <b>8. Electrical services</b> 38 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£1,734	
<b>G/222-Caretaker Store</b> <b>8. Electrical services</b> 1 nr Sub Main Cables,PVC/Conduit,Per board Refer to summary report 1 nr Sub Distribution Boards,Rewirable,1 ph large building Refer to summary report	B B		£766 £2,633	
<b>G/224/225/230/232-Office</b> <b>8. Electrical services</b> 116 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£5,294	
<b>G/224/225/232/233-Office</b> <b>7. Mechanical services</b> 118 m2 Heat Emitters,Nat convector,general Refer to summary report	C		£2,693	
<b>G/227-Staff Toilets</b> <b>3. Ceilings</b> 3 ml Ceilings,Repair,Plaster cracks water ingress damage	C		£26	
<b>G/228/229/238-Caretaker Store</b> <b>8. Electrical services</b> 12 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£548	
<b>G/237/240-242/244-Office</b> <b>7. Mechanical services</b> 101 m2 Heat Emitters,Nat convector,general Refer to summary report	C		£2,305	
<b>G/244-Office</b> <b>3. Ceilings</b> 3 m2 Ceilings,Repair,Plasterboard ceiling water ingress damage	C		£113	
<b>M/001/2-Balcony</b> <b>7. Mechanical services</b> 41 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£720	
<b>02/02 Grounds Hardstandings - External Areas</b> <b>Elevation 20</b> <b>11. External areas</b> 50 m2 Hardstandings/Pavements,Tarmac poor underfoot conditions / wearing course deteriorating	C		£2,572	
<b>Elevation 37</b> <b>11. External areas</b> 30 m2 Hardstandings/Pavements,Tarmac potential trip hazard / cracked & uneven surface	C		£1,543	
<b>Elevation 42</b> <b>11. External areas</b> 45 m2 Hardstandings/Pavements,Tarmac poor underfoot conditions / wearing course deteriorating	C		£2,315	
<b>Sub total for Priority 2 / Works required within 2 years</b>			£716,453	



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## AMP Condition Survey Report 0001 - West Park Centre

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>1/008/10/41/52-Teaching Storage</b>				
<b>8. Electrical services</b>				
64 m2 Luminaires,Tungsten,Surface	Refer to summary report	B		£2,497
<b>1/014/16/19-21/24-Office</b>				
<b>7. Mechanical services</b>				
302 m2 Heat Emitters,Fan convector,general	Refer to summary report	B		£6,627
<b>1/027/29/37/39-Office</b>				
<b>7. Mechanical services</b>				
217 m2 Heat Emitters,Fan convector,general	Refer to summary report	B		£4,762
<b>1/041-Staff Toilets</b>				
<b>2. Floors and stairs</b>				
23 m2 Floors (finishes),Ceramic tiles,Solid floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B		£2,140
<b>3. Ceilings</b>				
18 m2 Ceilings,Sheet,Mineral Fibre	appearance deteriorating - renewal recommended during toilet refurbishment	B		£850
<b>5. Internal walls and doors</b>				
10 m2 Walls (internal),Ceramic tiles,Masonry	toilet refurbishment recommended	B		£930
5 nr Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B		£3,397
<b>6. Sanitary services</b>				
5 Nr Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B		£1,519
4 Nr Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B		£1,893
<b>1/052-Office Store</b>				
<b>2. Floors and stairs</b>				
18 m2 Floors (finishes),Ceramic tiles,Solid floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B		£1,675
<b>3. Ceilings</b>				
18 m2 Ceilings,Sheet,Mineral Fibre	appearance deteriorating - renewal recommended during toilet refurbishment	B		£850
<b>5. Internal walls and doors</b>				
10 m2 Walls (internal),Ceramic tiles,Masonry	toilet refurbishment recommended	B		£930
6 nr Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B		£4,076
<b>6. Sanitary services</b>				
6 Nr Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B		£1,823
4 Nr Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B		£1,893
<b>All</b>				
<b>7. Mechanical services</b>				
7,256 Distribution Pipework,HWS,Copper large building	Refer to summary report	B		£48,990
7,256 Distribution Pipework,CWS,Copper large building	Refer to summary report	B		£48,990
<b>B/253-Boilerhouse</b>				
<b>7. Mechanical services</b>				
3 nr Freestanding Flues,Steel,medium unit	Renew when replacing boilers	B		£17,723
7,256 Water heaters,Central,Gas	Boiler for hot water-refer to summary report	B		£61,238
2,418 Burners,Gas,Large building	Renew when replacing boilers	B		£816
2,418 Heat source,Gas fired,Cast iron	Refer to summary report	B		£81,628
2,418 Burners,Gas,Large building	Renew when replacing boilers	B		£816
2,418 Heat source,Gas fired,Cast iron	Refer to summary report	B		£81,628

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## AMP Condition Survey Report 0001 - West Park Centre

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>Boiler flue stack</b>				
<b>8. Electrical services</b>				
1 nr	Lightening Protection,Copper,Full large building	Refer to summary report	B	£50,638
<b>Elevation 01</b>				
<b>4. External walls, windows and doors</b>				
4 m2	Walls (external),Curtain Walling,Composite	timber framed curtain walling incorporating single glazed windows- upgrade recommended	B	£1,849
8 m2	Doors (external),Wood	renewal / upgrade recommended	B	£2,465
<b>Elevation 02</b>				
<b>4. External walls, windows and doors</b>				
21 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£5,018
<b>Elevation 02A</b>				
<b>4. External walls, windows and doors</b>				
84 m2	Walls (external),Curtain Walling,Composite	steel framed curtain walling incorporating single glazed windows- upgrade recommended	B	£38,822
5 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£1,195
<b>Elevation 06</b>				
<b>4. External walls, windows and doors</b>				
8 m2	Doors (external),Steel	renewal / upgrade recommended	B	£2,501
33 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£7,886
<b>Elevation 09</b>				
<b>4. External walls, windows and doors</b>				
24 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£5,735
<b>Elevation 09A</b>				
<b>4. External walls, windows and doors</b>				
84 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£20,074
<b>Elevation 12</b>				
<b>4. External walls, windows and doors</b>				
20 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£4,779
13 m2	Walls (external),Curtain Walling,Composite	steel framed curtain walling incorporating single glazed windows- upgrade recommended	B	£6,008
2 m2	Doors (external),Steel	renewal / upgrade recommended	B	£625
<b>Elevation 13</b>				
<b>4. External walls, windows and doors</b>				
13 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£3,107
<b>Elevation 15</b>				
<b>4. External walls, windows and doors</b>				
5 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£1,195
<b>Elevation 19</b>				
<b>4. External walls, windows and doors</b>				

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## AMP Condition Survey Report 0001 - West Park Centre

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>Elevation 19</b>				
<b>4. External walls,windows and doors</b> 18 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£4,301
<b>Elevation 20</b>				
<b>4. External walls,windows and doors</b> 30 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£7,169
<b>Elevation 22</b>				
<b>4. External walls,windows and doors</b> 2 m2 Doors (external),Steel renewal / upgrade recommended	B			£625
18 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£4,301
<b>Elevation 23</b>				
<b>4. External walls,windows and doors</b> 6 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£1,434
<b>Elevation 24</b>				
<b>4. External walls,windows and doors</b> 20 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£4,779
<b>Elevation 25</b>				
<b>4. External walls,windows and doors</b> 6 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£1,434
<b>Elevation 27</b>				
<b>4. External walls,windows and doors</b> 202 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£48,272
<b>Elevation 29</b>				
<b>4. External walls,windows and doors</b> 36 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£8,603
<b>Elevation 32</b>				
<b>4. External walls,windows and doors</b> 234 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£55,919
<b>Elevation 34</b>				
<b>4. External walls,windows and doors</b> 15 m2 Walls (external),Curtain Walling,Composite steel framed curtain walling incorporating single glazed windows- upgrade recommended	B			£6,933
<b>Elevation 34A</b>				
<b>4. External walls,windows and doors</b> 6 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£1,434
<b>Elevation 35</b>				
<b>4. External walls,windows and doors</b> 17 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£4,063
<b>Elevation 37</b>				

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>Elevation 37</b>				
<b>4. External walls,windows and doors</b> 117 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£27,960
<b>Elevation 39</b>				
<b>4. External walls,windows and doors</b> 18 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£4,301
<b>Elevation 41</b>				
<b>4. External walls,windows and doors</b> 71 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£16,967
<b>Elevation 43</b>				
<b>4. External walls,windows and doors</b> 126 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£30,110
<b>Elevation 46</b>				
<b>4. External walls,windows and doors</b> 96 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£22,941
12 m2 Doors (external),Steel renewal / upgrade recommended	B			£3,751
<b>Elevation 48</b>				
<b>4. External walls,windows and doors</b> 20 m2 Walls (external),Curtain Walling,Composite steel framed curtain walling incorporating single glazed windows- upgrade recommended	B			£9,243
<b>Elevation 49</b>				
<b>4. External walls,windows and doors</b> 30 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£7,169
<b>Elevation 51</b>				
<b>4. External walls,windows and doors</b> 20 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£4,779
<b>Elevation 51A</b>				
<b>4. External walls,windows and doors</b> 4 m2 Doors (external),Steel renewal / upgrade recommended	B			£1,250
90 m2 Walls (external),Curtain Walling,Composite steel framed curtain walling incorporating single glazed windows- upgrade recommended	B			£41,595
<b>Elevation 52</b>				
<b>4. External walls,windows and doors</b> 108 m2 Walls (external),Panel,Concrete general deterioration / upgrade recommended	C			£15,723
108 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£25,809
<b>Elevation 53</b>				
<b>4. External walls,windows and doors</b> 54 m2 Walls (external),Panel,Concrete general deterioration / upgrade recommended	C			£7,861
132 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£31,544

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Priority 3 / Works required within 3-5 years	Cond'n	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>G/059-Staff Showers</b>				
<b>2. Floors and stairs</b>				
9 m2	Floors (finishes),Vinyl Tile,Solid Floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B	£369
<b>6. Sanitary services</b>				
1 Nr	Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B	£304
1 Nr	Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B	£473
1 Nr	Sanitary Fittings,shower,Ceramic/glass	toilet refurbishment recommended	B	£658
<b>G/060-Pupil Toilets</b>				
<b>2. Floors and stairs</b>				
17 m2	Floors (finishes),Ceramic tiles,Solid floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B	£1,582
<b>5. Internal walls and doors</b>				
2 nr	Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B	£1,359
<b>6. Sanitary services</b>				
3 Nr	Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B	£1,420
2 Nr	Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B	£608
<b>G/062-Pupil Showers</b>				
<b>7. Mechanical services</b>				
1 nr	HWS Mixing Valves,General	Approaching end of life	B	£121
<b>G/066-Pupil Showers</b>				
<b>7. Mechanical services</b>				
1 nr	HWS Mixing Valves,General	Approaching end of life	B	£121
<b>G/067-Pupil Toilets</b>				
<b>2. Floors and stairs</b>				
17 m2	Floors (finishes),Ceramic tiles,Solid floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B	£1,582
<b>5. Internal walls and doors</b>				
2 nr	Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B	£1,359
<b>6. Sanitary services</b>				
3 Nr	Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B	£1,420
2 Nr	Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B	£608
<b>G/068-Staff Showers</b>				
<b>2. Floors and stairs</b>				
9 m2	Floors (finishes),Vinyl Tile,Solid Floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B	£369
<b>6. Sanitary services</b>				
1 Nr	Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B	£473
1 Nr	Sanitary Fittings,shower,Ceramic/glass	toilet refurbishment recommended	B	£658
1 Nr	Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B	£304
<b>G/076/83/85/88/107-Registration Classbase</b>				
<b>7. Mechanical services</b>				
396 m2	Heat Emitters,Fan convector,general	Refer to summary report	B	£8,689
<b>G/079-82/100/103-Caretaker Store</b>				
<b>8. Electrical services</b>				
125 m2	Luminaires,Tungsten,Surface	Refer to summary report	B	£4,877
<b>G/103-Pupil Toilets</b>				

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## AMP Condition Survey Report 0001 - West Park Centre

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>G/103-Pupil Toilets</b>				
<b>2. Floors and stairs</b>				
29 m2	Floors (finishes),Vinyl Tile,Solid Floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B	£1,189
<b>3. Ceilings</b>				
29 m2	Ceilings,Sheet,Mineral Fibre	appearance deteriorating - renewal recommended during toilet refurbishment	B	£1,370
<b>5. Internal walls and doors</b>				
10 m2	Walls (internal),Ceramic tiles,Masonry	toilet refurbishment recommended	B	£930
8 nr	Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B	£5,435
<b>6. Sanitary services</b>				
7 Nr	Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B	£3,313
8 Nr	Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B	£2,430
<b>G/105/132/133/197-Caretaker Store</b>				
<b>8. Electrical services</b>				
48 m2	Luminaires,Tungsten,Surface	Refer to summary report	B	£1,873
<b>G/109/114/121/123-Conference Room</b>				
<b>7. Mechanical services</b>				
186 m2	Heat Emitters,Fan convector,general	Refer to summary report	B	£4,081
<b>G/127/129/138/139-Music</b>				
<b>7. Mechanical services</b>				
265 m2	Heat Emitters,Fan convector,general	Refer to summary report	B	£5,815
<b>G/132-Pupil Toilets</b>				
<b>2. Floors and stairs</b>				
15 m2	Floors (finishes),Ceramic tiles,Solid floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B	£1,396
<b>3. Ceilings</b>				
15 m2	Ceilings,Sheet,Mineral Fibre	appearance deteriorating - renewal recommended during toilet refurbishment	B	£709
<b>5. Internal walls and doors</b>				
4 nr	Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B	£2,718
<b>6. Sanitary services</b>				
4 Nr	Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B	£1,215
3 Nr	Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B	£1,420
<b>G/133-Pupil Toilets</b>				
<b>2. Floors and stairs</b>				
15 m2	Floors (finishes),Ceramic tiles,Solid floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B	£1,396
<b>3. Ceilings</b>				
15 m2	Ceilings,Sheet,Mineral Fibre	appearance deteriorating - renewal recommended during toilet refurbishment	B	£709
<b>5. Internal walls and doors</b>				
3 nr	Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B	£2,038
<b>6. Sanitary services</b>				
4 Nr	Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B	£1,893
3 Nr	Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B	£911
<b>G/143/145/147/155-Circulation</b>				
<b>7. Mechanical services</b>				
178 m2	Heat Emitters,Fan convector,general	Refer to summary report	B	£3,906

# Leeds City Council - Education Leeds

## AMP Condition Survey Report 0001 - West Park Centre

### Detail of Prioritised Works (Excluding Redecorations)

The chart below displays the breakdown of forecast cost against each item. The report is group by location/room name within each block. The condition grade against each item is defined as **A-Good**, **B-Satisfactory**, **C-Poor** and **D-Bad/Urgent**. Painting costs are excluded and are available in summary within the final section of this report.

Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b> <b>G/156/161/162/200-Registration Classbase</b> <b>7. Mechanical services</b> 333 m2 Heat Emitters,Fan convector,general Refer to summary report	B			£7,307
<b>G/171/178/181/183-Circulation</b> <b>7. Mechanical services</b> 283 m2 Heat Emitters,Fan convector,general Refer to summary report	B			£6,210
<b>G/204/206/247-249-Registration Classbase</b> <b>7. Mechanical services</b> 310 m2 Heat Emitters,Fan convector,general Refer to summary report	B			£6,802
<b>G/227-Staff Toilets</b> <b>2. Floors and stairs</b> 3 m2 Floors (finishes),Vinyl Tile,Solid Floor installation of anti slip sheet vinyl recommended  <b>6. Sanitary services</b> 1 Nr Sanitary Fittings,WC,Ceramic upgrade recommended 1 Nr Sanitary Fittings,whb,Ceramic upgrade recommended	B  B B			£123  £304 £473
<b>G/231-Staff Toilets</b> <b>2. Floors and stairs</b> 3 m2 Floors (finishes),Vinyl Tile,Solid Floor installation of anti slip sheet vinyl recommended  <b>6. Sanitary services</b> 1 Nr Sanitary Fittings,WC,Ceramic upgrade recommended 1 Nr Sanitary Fittings,whb,Ceramic upgrade recommended	B  B B			£123  £304 £473
<b>G/235-Staff Toilets</b> <b>2. Floors and stairs</b> 9 m2 Floors (finishes),Vinyl Tile,Solid Floor installation of anti slip sheet vinyl recommended during toilet refurbishment  <b>5. Internal walls and doors</b> 5 m2 Walls (internal),Ceramic tiles,Masonrytoilet refurbishment recommended 3 nr Walls (internal),WC toilet refurbishment recommended cubicles,Demountable  <b>6. Sanitary services</b> 2 Nr Sanitary Fittings,whb,Ceramic toilet refurbishment recommended 3 Nr Sanitary Fittings,WC,Ceramic toilet refurbishment recommended	B  B B  B B			£369  £465 £2,038  £946 £911
<b>G/238-Office Store</b> <b>6. Sanitary services</b> 1 Nr Sanitary Fittings,WC,Ceramic upgrade recommended 1 Nr Sanitary Fittings,whb,Ceramic upgrade recommended	B B			£304 £473
<b>Roof 02</b> <b>1. Roofs</b> 270 m2 Roofs,Flat covering,Felt/chippings previous patch repairs / renewal envisaged being required within 3-5 years	B			£12,899
<b>Roof 03</b> <b>1. Roofs</b> 98 m2 Roofs,Flat,Asphalt previous patch repairs / renewal envisaged being required within 3-5 years	B			£7,837
<b>Roof 04</b> <b>1. Roofs</b> 27 m2 Roofs,Flat,Asphalt previous patch repairs / renewal envisaged being required within 3-5 years	B			£2,159

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## AMP Condition Survey Report 0001 - West Park Centre

### Detail of Prioritised Works (Excluding Redecorations)

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>Roof 05</b> 1. Roofs 590 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£28,186
<b>Roof 06</b> 1. Roofs 502 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£23,982
<b>Roof 09</b> 1. Roofs 64 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£3,057
<b>Roof 10</b> 1. Roofs 391 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£18,679
<b>Roof 11</b> 1. Roofs 57 m2 Roofs,Flat,Asphalt	previous patch repairs / renewal envisaged being required within 3-5 years	B		£4,558
<b>Roof 12</b> 1. Roofs 55 m2 Roofs,Flat,Asphalt	previous patch repairs / renewal envisaged being required within 3-5 years	B		£4,398
<b>Roof 13</b> 1. Roofs 280 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£13,376
<b>Roof 14</b> 1. Roofs 30 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£1,433
<b>Roof 15</b> 1. Roofs 350 m2 Roofs,Flat,Asphalt	previous patch repairs / renewal envisaged being required within 3-5 years	B		£27,990
<b>Roof 16</b> 1. Roofs 350 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£16,720
<b>Roof 17</b> 1. Roofs 440 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£21,020
<b>Roof 18</b> 1. Roofs 55 m2 Roofs,Flat,Felt	previous patch repairs / renewal envisaged being required within 3-5 years	B		£2,628
<b>Roof 18A</b> 1. Roofs				



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## AMP Condition Survey Report 0001 - West Park Centre

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>Roof 18A</b>				
<b>1. Roofs</b> 11 m2    Roofs,Flat,Asphalt	previous patch repairs / renewal envisaged being required within 3-5 years	B		£880
<b>Roof 19</b>				
<b>1. Roofs</b> 205 m2    Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£9,793
<b>Roof 20</b>				
<b>1. Roofs</b> 70 m2    Roofs,Flat,Asphalt	previous patch repairs / renewal envisaged being required within 3-5 years	B		£5,598
<b>Roof 21</b>				
<b>1. Roofs</b> 45 m2    Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£2,150
<b>Roof 22</b>				
<b>1. Roofs</b> 580 m2    Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£27,708
<b>02/02 Grounds Hardstandings - External Areas</b>				
<b>Entrance drive</b>				
<b>8. Electrical services</b> 1 nr    Luminaires,Fluorescent,Surface	Column-mounted SOX luminaire-approaching end of life	B		£335
<b>Sub total for Priority 3 / Works required within 3-5 years</b>				£1,264,973

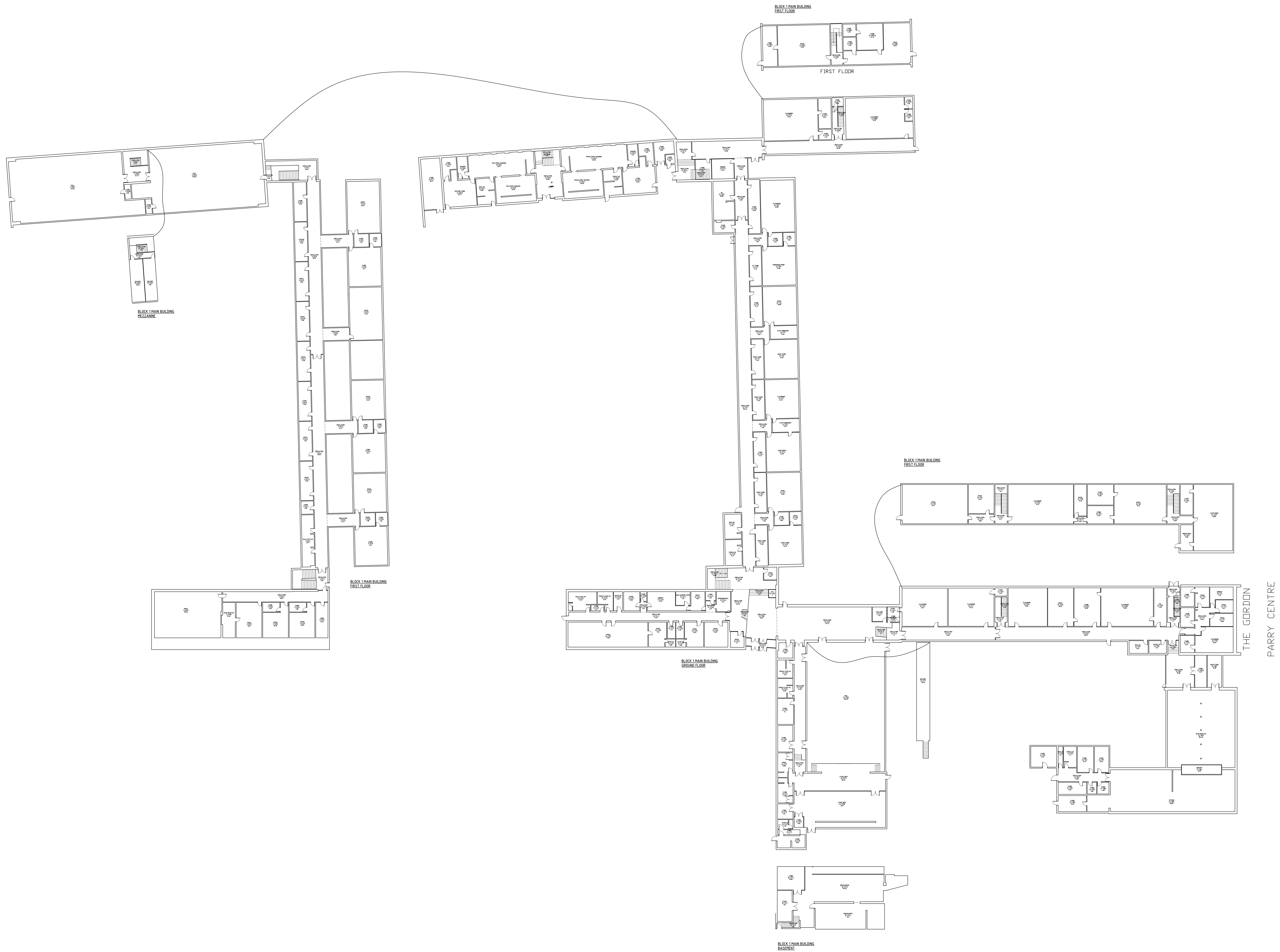
# Leeds City Council - Education Leeds

## AMP Condition Survey Report 0001 - West Park Centre

### Summary of Redecoration/Paint Work Required

The chart below displays the total forecast expenditure for **PAINTING ONLY** for each block within the property. Each cost is summarised against element description rather than display each individual item. The costs are subtotalled by priority 1,2 and 3 to indicate the urgency of the work required.

Block / Element	Priority 1	Priority 2	Priority 3	Total
<b>01/01 Block 1 Main Building - Permanent</b>				
<b>9. Redecorations</b>				
Ceilings,Sheet	0.00	0.00	8.20	8.20
Doors (external),Wood	0.00	0.00	106.61	106.61
Roofs,Flat covering	0.00	0.00	103.10	103.10
<i>Sub total for 01/01 Block 1 Main Building - Permanent</i>	0.00	0.00	217.91	217.91
<i>Total for Redecoration/Paint Work Required</i>	0.00	0.00	217.91	217.91

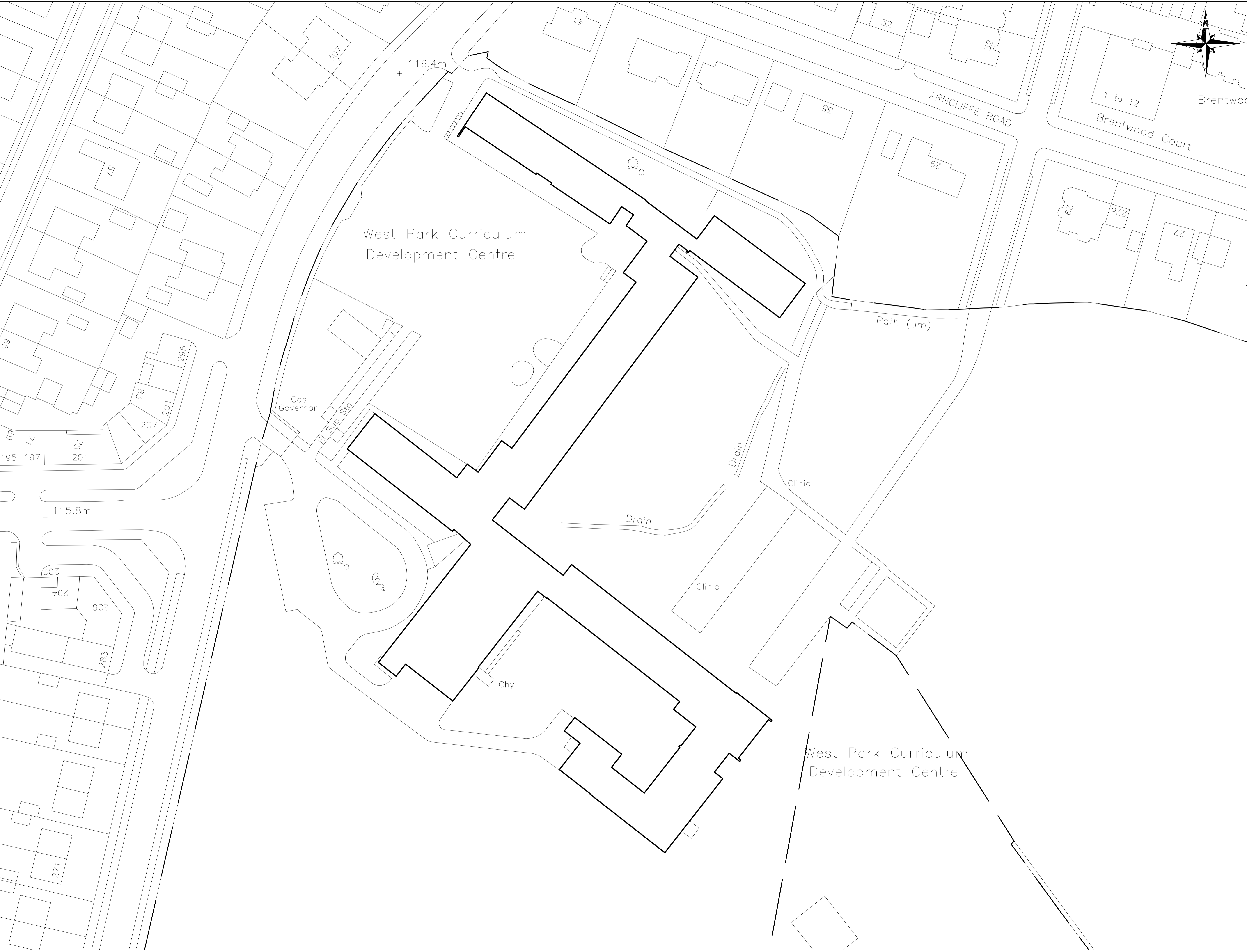
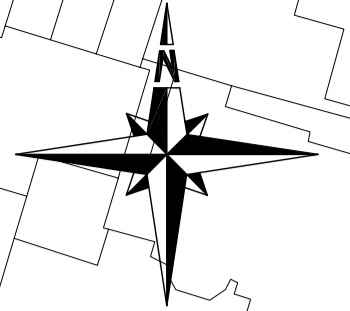


**CONDITION SURVEY**  
This drawing is to be read in conjunction with condition survey dated 28/09/09

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PROJECT :-	
ASSET MANAGEMENT INFORMATION	
SITE LOCATION:-	
WEST PARK	
DRAWING TITLE :-	DRAWN BY
FLOOR LAYOUT	C.J.L.
DEPARTMENT :-	
EDUCATION LEEDS	
ESTATE MANAGEMENT	
9TH FLOOR WEST	
MERRION HOUSE	
MERRION CENTRE	
LEEDS LS2 8QA	
DRAWING NO :-	DATE :-
.....	OCT 2009
SCALE :-	REV
1:250	---



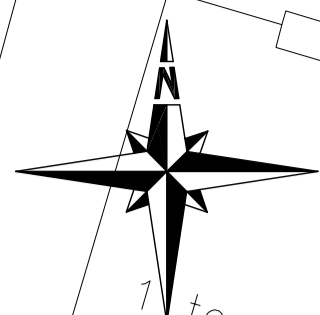


**CONDITION SURVEY**  
This drawing is to be read in conjunction with condition survey dated 28/09/09

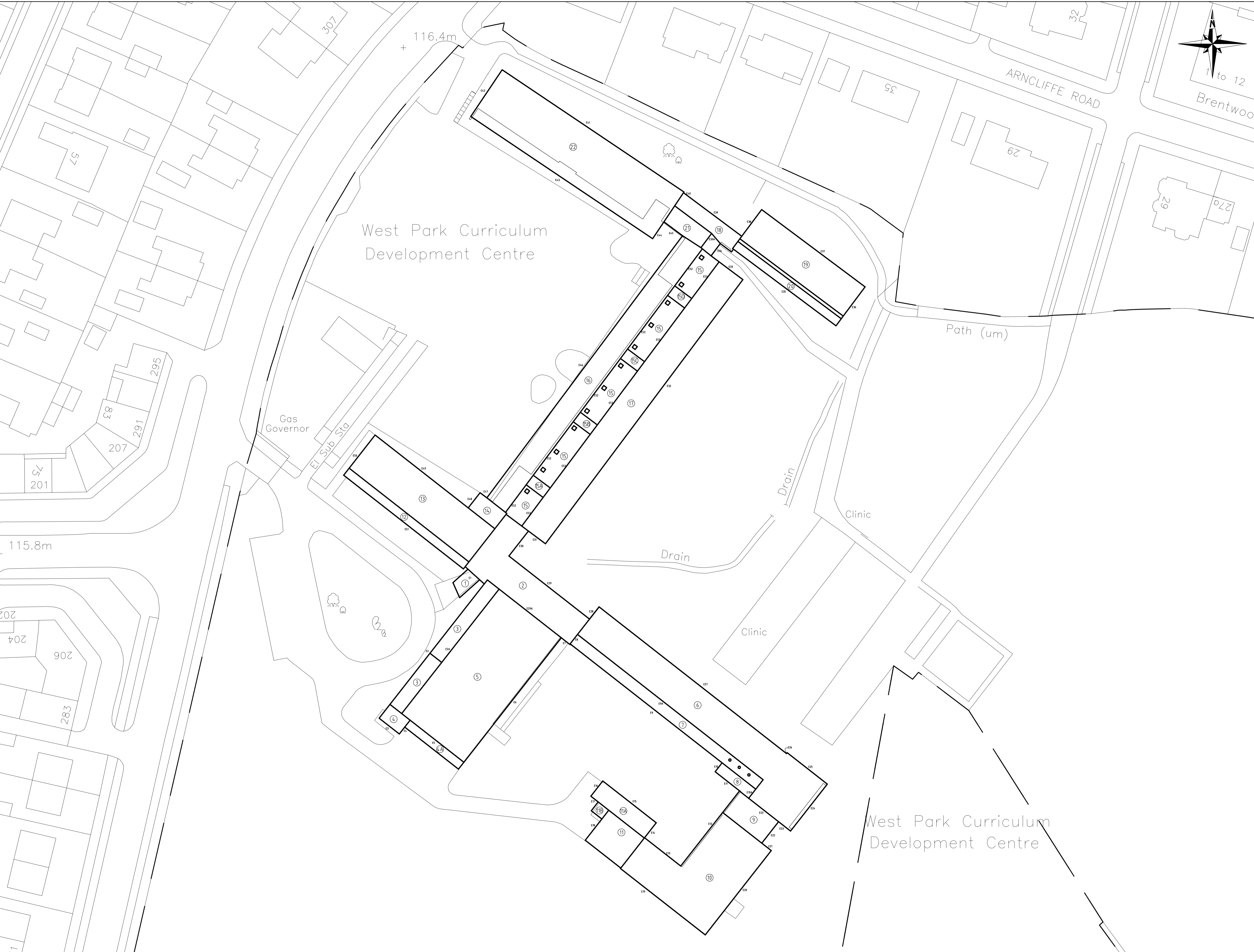
REV	DATE	DESCRIPTION
01	15/10/09	Building footprint updated from the condition survey.

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PROJECT :-	
ASSET MANAGEMENT INFORMATION	
SITE LOCATION:-	
WEST PARK CENTRE	
DRAWING TITLE :-	DRAWN BY
OS SURVEY DETAILS	C.J.L.
DEPARTMENT :-	
EDUCATION LEEDS	
ESTATE MANAGEMENT	
9TH FLOOR WEST	
MERRION HOUSE	
LEEDS LS2 8QA	
DRES NO :-	DATE :-
-	OCT 2009
PLOT SIZE	SCALE :-
A1	N.T.S.
REV	01



Any queries regarding these drawings should be made to Leeds City Council Estate Management Tel 0113 247 5352



**CONDITION SURVEY**

This drawing is to be read in conjunction with condition survey dated 28/09/09

REV	DATE	DESCRIPTION
01	16/10/09	Minor modification from the condition survey.

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PROJECT :-  
 ASSET MANAGEMENT INFORMATION  
 SITE LOCATION:-  
 WEST PARK CENTRE  
 DRAWING TITLE :-  
 ELEVATIONS & ROOF NUMBERS  
 DRAWN BY  
 C.J.L.  
 DEPARTMENT :-  
 EDUCATION LEEDS  
 ESTATE MANAGEMENT  
 9TH FLOOR WEST  
 MERRION HOUSE  
 MERRION CENTRE  
 LEEDS LS2 8QA



DRES NO	DATE	PLOT SIZE	SCALE	REV
-	OCT 2009	A1	N.T.S.	01